

Design Guidelines

Thompson Ridge *Estates*

11/1/2023

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Introduction

PURPOSE AND INTENT

The following Design Guidelines have been developed to direct design guidelines and criteria for the Thompson Ridge Estates (TRE) Development. These guidelines are to be used as a tool in the development of site, architecture, and landscape plans submitted and reviewed by the Design Review Committee (DRC).

The Design Guidelines, although specific, are broad enough that homeowners, architects, builders, and landscape designers still have great flexibility for innovation and creativity. The guidelines will assure a cohesive and high-quality neighborhood that is reflected by distinct architecture, protected view corridors as well as appropriate and native landscaping. Within Thompson Ridge Estates, no plan may be built more than once to maintain an appealing neighborhood.

USING THIS DOCUMENT

Homeowners, homebuilders, and design consultants will be the primary users of the Design Guidelines. The DRC will evaluate all architecture, site and landscape plans based on the following guidelines. All applicants will be responsible for obtaining a current copy of the Design Guidelines prior to submittal of any plans. All property improvements must be approved by the DRC and the development review process of the Town of Johnstown prior to the start of any construction.

REGULATION

External Regulation

The Design Guidelines are not the sole basis for decisions in regard to Thompson Ridge Estates. All development within Thompson Ridge Estates must abide by and comply with State of Colorado and United States Federal Government laws. All development shall also meet all the approved Thompson Ridge Estates Overall Development Plan and Final Plat, Town of Johnstown municipal codes, regulations, and ordinances as applicable to the site and individual lots. Approval of plans by the DRC does not guarantee approval by any governmental authority having jurisdiction.

Conflicts

If there are any discrepancies between the Design Guidelines and governmental documents/ordinances/laws etc., the more restrictive shall apply.

Alternative Compliance

While the Thompson Ridge Estates Design Guidelines attempts to thoroughly cover all aspects of development it cannot anticipate all scenarios or conditions. If an applicant wishes to propose an alternate to the Design Guidelines the following shall be considered by the DRC:

- Exceptional physical conditions or situations by a property prevent the applicant from meeting the Design Guideline requirements
- The proposed would promote the intent of a guideline and would be equal to or better than the required
- The proposed would not diverge from the guidelines except in a nominal or inconsequential way

Alternative compliance approval will be site specific and does not establish a precedent for other properties within Thompson Ridge Estates.

Required vs. Encouraged

Required design elements within the Thompson Ridge Estates are noted with the words "shall" and "must". Encouraged elements that reinforce the intent of the Thompson Ridge Estates Design Guidelines are noted with phrases such as, "are encouraged to".

Waivers, Amendments, and Supplements

The DRC reserves the right to waive, at its sole discretion, any requirement with the Design Guidelines as long as such waiver is not capricious or arbitrary.

The Thompson Ridge Estates Design Guidelines are intended to be a living document that may from time to time be amended or supplemented by the DRC. The changes shall only apply to any development submittals that are subsequently submitted. Such amendments shall not be retroactive to previous work or approved work in progress.

BACKGROUND

Site and Context

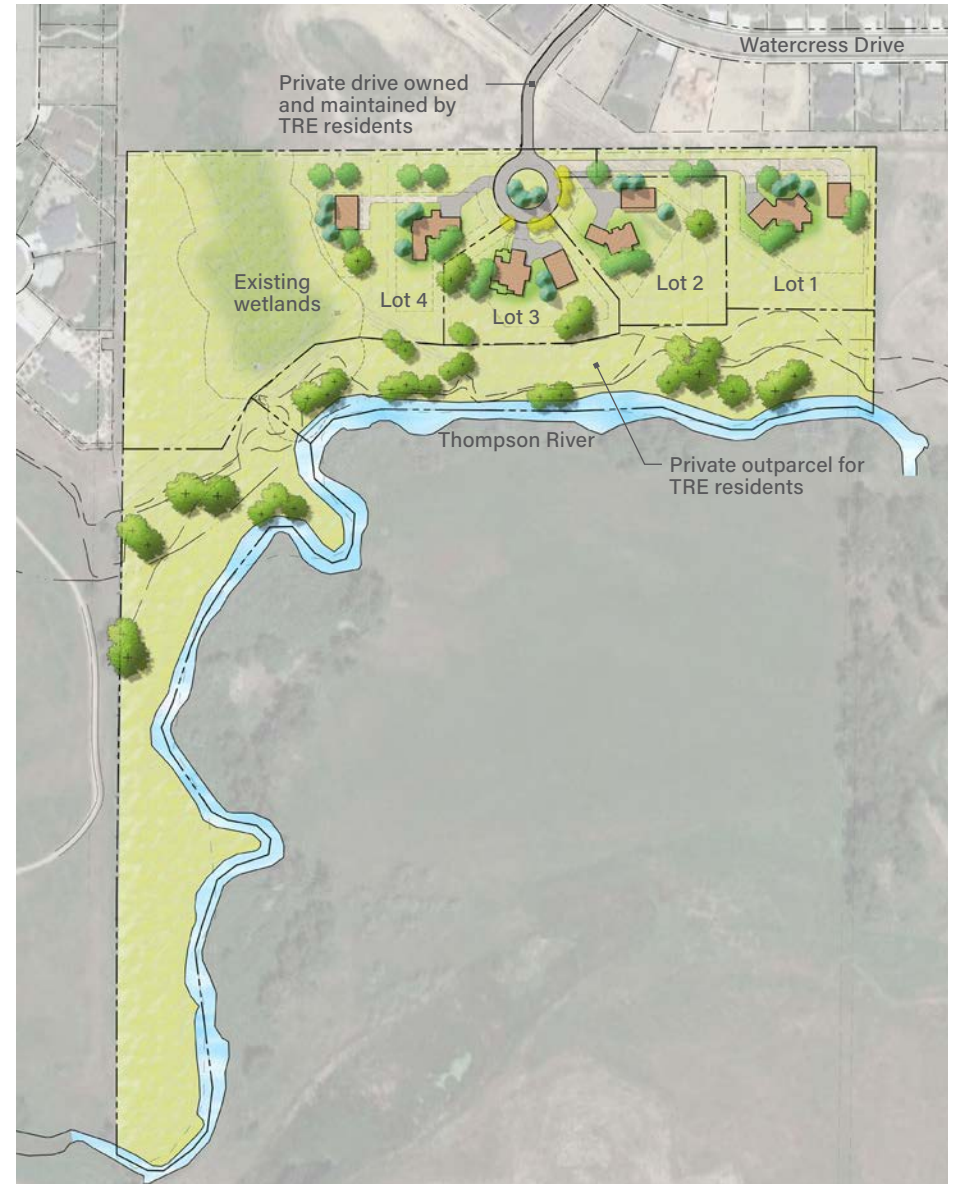
Located East of I-25 and South of Highway 34, the Thompson Ridge Estates neighborhood is nestled in an area of large acreage lots and natural open space. The Natural native area, mountain views and the Big Thompson River provide a stunning backdrop and Colorado feel to this development. Preserving the character of the rural native landscape of this area will be of utmost importance and is a large driving factor in directing the Design Guidelines.

Thompson Ridge Estates Site Master Plan

This document is written as a supplement to the approved Thompson Ridge Estates Overall Development Plan and Final Plat. All plans submitted to the DRC for consideration must also abide by the Thompson Ridge Estates Approved Plans and Town of Johnstown Land Use Code.



Surrounding context



Thompson Ridge Estates: Home and accessory buildings are conceptual, final locations and design by individual lot owner

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TRE | Principles

SENSITIVITY TO CONTEXT

Ecology and Environment

The natural areas and agricultural farmlands that surround Thompson Ridge Estates provide wonderful habitat area for plant and animals alike. Many deer, foxes, birds and other small mammals call this area home. The Thompson River waterway defines the south property line of the development and provides excellent opportunities for views, river activities and wildlife viewing for the residents of this development. Thompson Ridge Estates HOA shall work to enhance and protect these areas that make this a unique and desired place to live.



Aerial view Thompson River and Front Range Mountains including Longs Peak



Thompson River vegetation and habitat



Existing wetland and vegetation

Material Palette

Using materials that are native to the Colorado landscape, such as river cobbles, sandstone, pine timbers, etc. in building home and site features helps to establish a sense of place and integrate the Thompson Ridge Estates into the context of the surrounding area.

Homeowners and designers that are consciousness in their plant selection by using low-water and deer resistant plants help to establish not only a beautiful landscape, but also conserve resources.



Plants that are deer resistant are recommended in order to establish vegetative beauty around each home



Stone in a variety of patterns including ashlar, chop and random



Sandstone pavers, river rock, timbers and evergreen trees are all important Colorado materials



Native stone accents and plants create a rich and diverse landscape

Site Planning

The guidelines for Thompson Ridge Estates are designed to promote and preserve the unique character of this community through the sensitive siting and location of homes. The defined building envelopes on each lot help to protect views, existing ravines and drainage ways as well as limit impact to existing topography.

Maximizing view opportunities to the Big Thompson River, mountains, and open spaces is encouraged and expected. Homeowners and builders shall design and arrange their sites to protect natural features on the each lot and within the overall context of the site.



Varied topography and mountain views should be protected to the maximum extent possible

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Residential Architecture

Residential Architecture

GENERAL

Uniqueness of Character

To contribute to the overall character, each home shall be visually unique and shall comply with the architectural elements and materials of the subdivision. Each home shall be unique from each other.

Thompson Ridge Estates seeks high quality architecture that nestles into the Colorado landscape and unique topography of each lot. Appropriate architectural styles include Modern Craftsman, Modern Mountain, Contemporary Mountain, and Modern Prairie.



Example architectural character

Primary Residence Building Height and Square Footage

The maximum allowed home height is 30 ft. Measurement shall be on front elevation of house from finished grade to midpoint of roof.

The minimum allowed square footage of a ranch home within Thompson Ridge Estates is 2,200 sf. Minimum square footages for two-story homes is 2,800 sf. Basement and garage areas do not count toward minimum areas.



Example architectural character

Articulation and Massing

Long unbroken façades and box-like forms devoid of architectural detail should be avoided.

- Building footprints and façades should be broken up to give the appearance of a collection of smaller structures.
- To the extent possible, each unit should be individually recognizable through the use of balconies, other projections, setbacks and an appropriate rhythm of windows and doors.
- Create substantial façade articulations rather than simply changing the texture of exterior wall materials.
- Design homes that exhibit “five-sided architectural characteristics” by providing the same level of wall articulation on side and rear elevations as used on the front elevation. Roof planes should also be varied, designed to increase visual interest when viewed from up-slope home sites.
- Use a variety of wall plane breaks on front, side and rear elevations to enhance façade variety and “five-sided architecture.”
- Use additive elements, such as covered porches, to create façade variety and visual interest.

In order to relate the building forms and massing to the site and to avoid severe or disruptive building profiles in the landscape, building forms should place emphasis on horizontal massing.

- These lower profile elements should follow the natural terrain of the site to further integrate with the landforms.
- Exposed building profiles atop ridgelines and sharp angular forms that contrast to the natural slope should be avoided.
- Use single-story plate heights elements at the perimeter of the structure to help keep the apparent mass of the home within human scale. Full two-story wall massings are strongly discouraged.
- Break-up rear building masses. Provide a variety of roof plane breaks and wall plane articulation that add visual interest to the rear façade. Integrate second-story deck roofs seamlessly into the fabric of the home.

Color Palette

Natural colors found within the Colorado landscape shall be the basis of all color palettes. Colors shall be darker, muted tones and shall not be highly reflective in nature, such as white, light gray, etc.



Siding

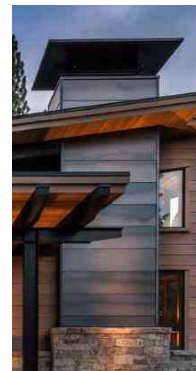
Siding shall be of high quality. Overall patterning of lines may extend both horizontally or vertically to emphasize the overall massing of the home appropriately. No vinyl shingle or log siding shall be allowed.



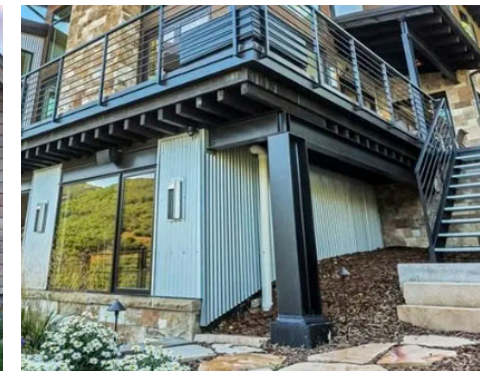
Board and Batten



Vertical Cedar



Stained or Natural Wood Board



Metal

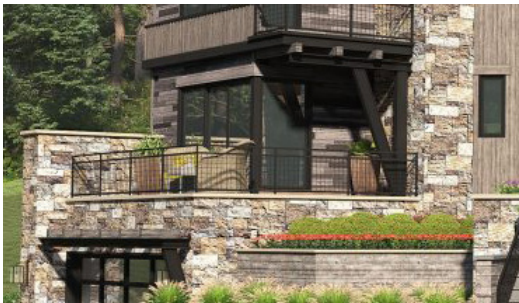
Residential Architecture

Masonry

Each home shall provide a minimum of one masonry type. Masonry shall be on all four sides of the structure. Stucco shall be hard coat only, no EFIS is allowed.



Natural stone: Full stone or thin stone veneer



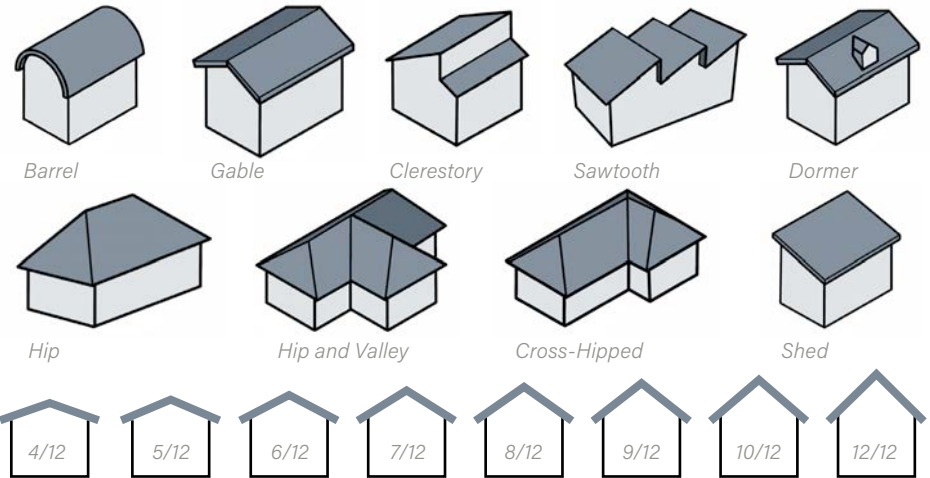
Concrete stone veneer



Stucco

Roofs

Each home shall utilize roof types as shown below. Flat roofs are not permitted. Roof material colors shall be grays, browns or tans, no bright colors (red, blue, green etc.)



Roof Pitches



Flat Concrete or Clay Tiles



Asphalt Shingle (must have shadow line)

Foundations

All exposed foundations that are 12" or more above finished grade must be veneered with masonry veneer or siding to reflect the architecture.

Eaves and Overhangs

Large eaves/overhangs shall be utilized with exposed timber rafter tails and beams or other similar detailing finish. Eaves and overhangs shall extend a minimum of 2 ft past the facade of the home.

Windows

Large windows with simple clean lines and minimal trim shall be utilized. One wall plane is typically composed primarily of windows, creating a large window appearance to capture views. Mullions or muntins shall be used minimally as accents. Window detailing should complement and enhance the architecture of the home. No white vinyl windows shall be used.



Large wall panes of windows

Stone or wood lintels



Window mullions



Window shapes that respond and enhance the architectural massing and detailing

Garage Doors

Garage doors should reflect the architecture of the home. Garage doors shall include windows.



Example garage doors

Solar Panels

Homeowners are encouraged to incorporate solar panels into the architecture of the home whenever possible. Solar shingles, such as the Tesla shingles (textured and slate styles only), are also encouraged.

No ground mounted solar panels are permitted. All solar systems shall be required to be approved by DRC.



Low profile solar panels on roofs



Tesla Slate



Tesla Textured

Residential Architecture

Architecture and Topography

While many of the designated building envelope areas are found in the less steep upper portions of the lots, the Thompson Ridge Estate lots have significant elevation change as one moves south toward the river. It is anticipated that walkout basements and large deck areas in the rear of the homes will take advantage of this condition and limit the amount of earthwork and impact that the homes has on the topography while simultaneously taking advantage of the views created by these conditions. It is encouraged for homeowners to locate/site their home and/or detached garage/shop in a way that is considerate of adjacent existing homes' view sheds.



Example homes that architecturally respond to topography

Detached Accessory Garage

Thompson Ridge Estates allows for one additional detached accessory garage/shop to be located within the building envelope of each lot. Lot 4 is the only exception with two building envelope areas.

The maximum area for the structure is 3,750 sf. The overall structure shall not exceed 30 ft to roof peak or ridge from adjacent finished grade and shall have maximum 16 ft walls.

Garages shall compliment the primary residence. Masonry matching the primary residence shall be on all four sides of the structures at a minimum of 3 ft above adjacent finished grade. Other siding shall be of same character as primary residence in both materiality and color. Windows shall be provided on a minimum of three sides and shall be a minimum of 6 sf each window. Roof material and color shall match primary residence.





Site and Landscape

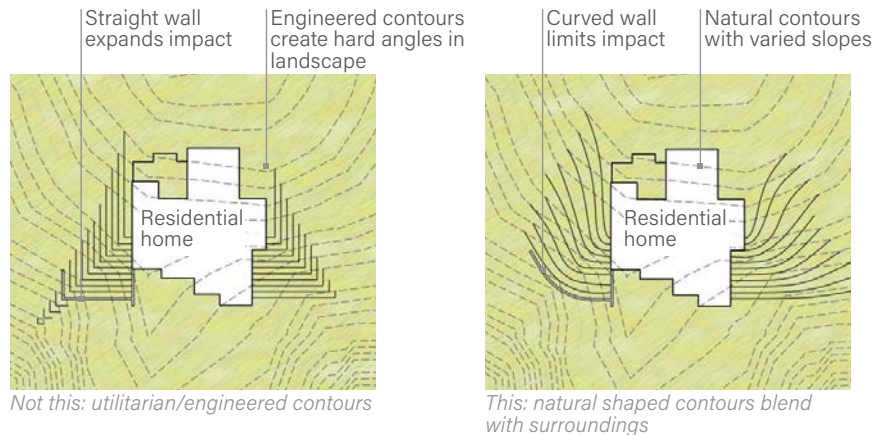
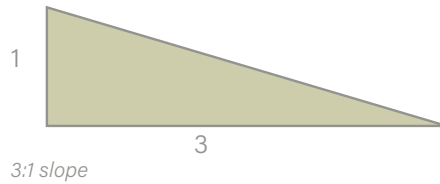
GENERAL

Homes in Thompson Ridge Estates shall be sited intentionally and sensitively to preserve and enhance the character of Thompson Ridge Estates, maximize views of the natural landscape, and protect the existing topography character of the land. Landscaping shall reflect the surrounding ecosystem and character of the region and agricultural community.

GRADING AND DRAINAGE

Grading

For designed grades, all slopes shall be organic in form and have varied slopes along the graded portions. Individual lot grading shall not adversely affect existing drainage ways. No slope on residential lots shall exceed 3:1. Grading shall tie into the existing topography in a natural way with naturally shaped grades that vary in slope. No grading shall extend past property lines.



Drainage and Erosion Control

Overall drainage patterns shown on the approved plans as well as natural drainage patterns shall be protected. Exposed slopes shall have 70% vegetative cover within one year in order to reduce erosion. Erosion control blankets/mats and logs are recommended to establish cover at a faster rate and prevent downstream sediment pollution. Erosion control techniques shall conform to the local jurisdiction during construction. BMP'S shall be utilized at all times during construction and through stabilization, especially to prevent erosion and sediment entering into the Big Thompson and shall be the responsibility of the homeowner and builder.



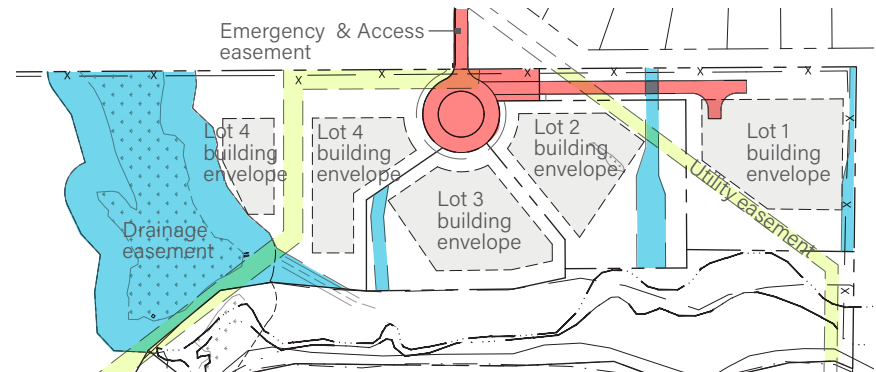
Erosion Control Blanket/Mat



Erosion Control Log

EASEMENTS AND BUILDING ENVELOPES

Utility and access easements are part of the approved plat for Thompson Ridge Estates. All lots shall abide by Town of Johnstown code requirements for uses allowed within easements. Building envelopes for each lot are shown on the approved site plan for the development. All homes and accessory structures must be located within these envelopes.



SITE DESIGN STANDARDS

Site Layout

Site designs of lots shall be approved by the DRC. Homeowners shall provide a minimum home setback of 30 ft from the front lot line.

Site layout of homes, driveways, patios, etc. shall seek to enhance and protect existing view corridors, work with existing topography of lot, enhance solar energy opportunities and preserve existing trees to the extent possible.

Driveways

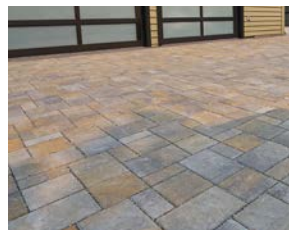
Driveway placement should be a minimum of 20 ft from side property line. Homeowners are encouraged to use a narrow initial driveway width and widen out at garages in order to reduce impervious pavement on lots and provide more opportunity for landscape and infiltration. All driveways shall be hardscape (no crushed gravel). Owner options include concrete (standard, stamped or colored), pavers (standard and permeable). Lot 1 may utilize gravel road from entry round about to driveway apron as per Loveland Fire emergency approval. Lot 4 may utilize asphalt from main driveway to detached accessory garage.



Concrete



Stamped Concrete



Pavers



Permeable Pavers

Entry Walkways

Entry walkways are encouraged to emphasize the character of the home and connect to the driveway. Walkways shall be shown on landscape plans prior to construction. Any changes to materials, resurfacing or expansions shall be submitted to the DRC for approval. Materials include concrete (standard, stamped or colored), pavers and natural or artificial stone.



Stone



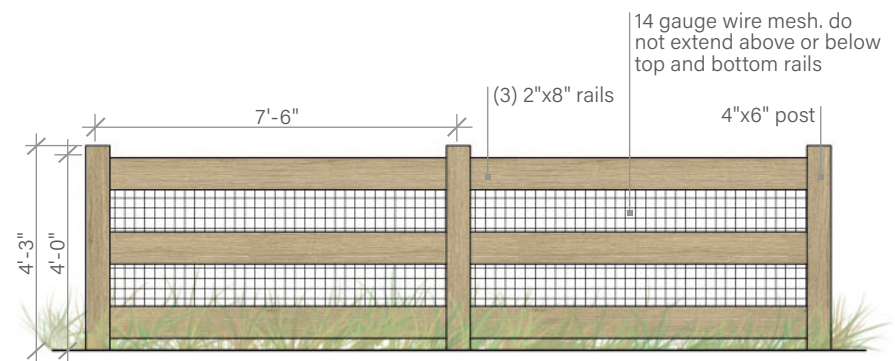
Oversized Pavers



Concrete

3-Rail Fence

Fences with Thompson Ridge Estates shall be 3-rail open fences as shown in the detail below. Fences shall be cedar or douglas fir wood only. All staining shall be semi-transparent. Fencing is not permitted along property lines. Only focused active areas (backyards) shall be permitted to have fencing in order to limit impact to wildlife. Fencing location to be shown on site plans for DRC approval.



LANDSCAPE DESIGN STANDARDS

All new landscape plans as well as alterations to existing landscapes shall be approved by the DRC. Landscape plans should provide year round visual interest, define entrances and provide arrival sequences, screen less desirable features and provide spaces for private use. Plant arrangements shall compliment the architecture of the home, frame windows and provide a setting for the height and mass of the home.

Irrigation plans designed by a licensed irrigation engineer must be submitted to the DRC for approval due to water restrictions on the development. Each lot shall have 0.23 AF for high water use areas and 0.197 AF for low water use areas. Any lot needing additional water will need to have it approved and purchased through the town of Johnstown.

Front Yard Requirements

- Minimum 2 trees
- Foundation planting beds shall extend from face of home a minimum of 6 ft

Side Yard Requirements

- Minimum 1 tree
- Foundation planting beds shall extend from face of home a minimum of 6 ft

Rear Yard Requirements

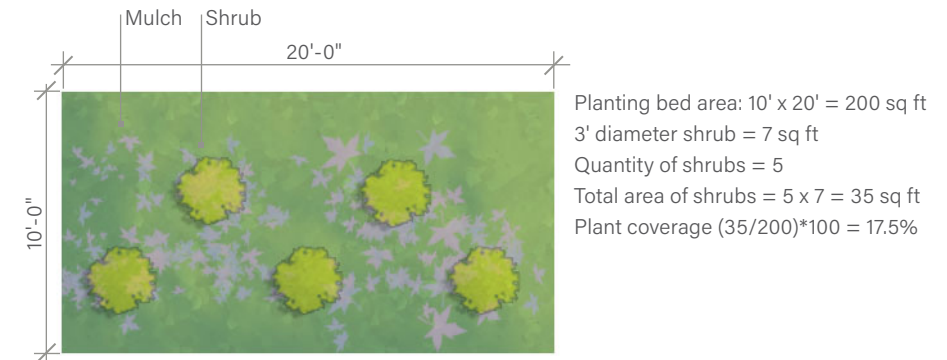
- Minimum 3 trees
- Foundation planting beds shall extend from face of home a minimum of 6 ft

Overall Landscape Minimums and Maximums

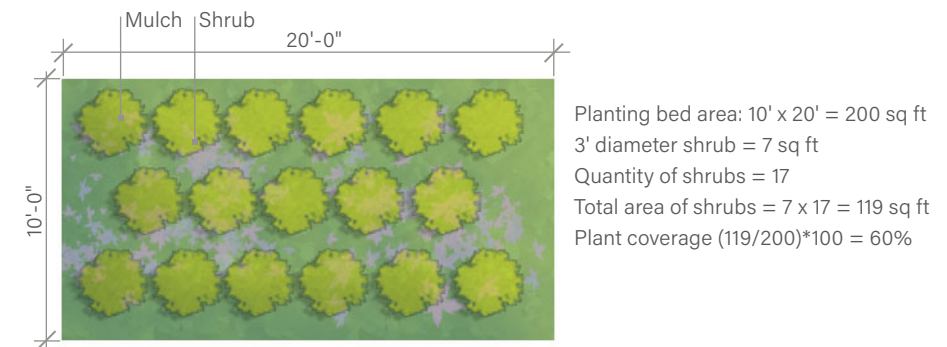
- Existing trees shall not count toward front, side, rear yard tree requirements
- A minimum of 1 of the required 6 trees shall be evergreen.
- A maximum of 4,000 sf of high water use (turf lawn) is permitted on each lot. This area may be broken up into multiple areas or be one area.
- A maximum of 5,700 sf of low water use (shrub beds with drip irrigation) is permitted on each lot.

Recommended Shrub Bed Planting Quantities

Planting shrub beds with dense and diverse plants creates not only a beautiful aesthetic but also limits the need to reapply mulch due to wind loss, lowers water requirements and reduces weeds.

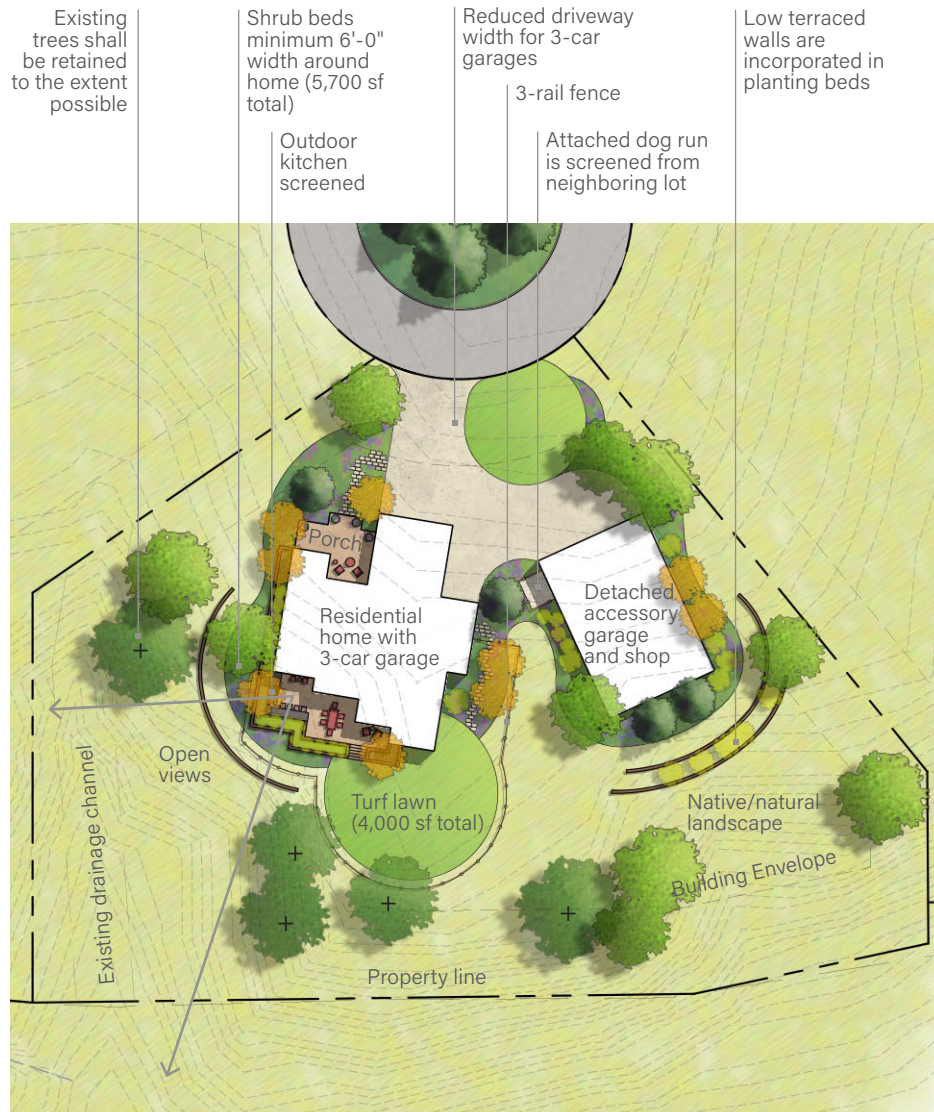


Example of poor vegetative coverage



Example of good vegetative coverage

Example Landscape Plan



Natural Landscape Character

The site consists of a dry upland plateau that descends to the Big Thompson River. The undulating upland plateau is characterized by annual bromes and annual forbs.

The vegetation of the sloped portion of the site is characterized by native perennial grasses interspersed with native shrubs and cacti – rubber rabbitbrush, yucca, and plains prickly pear. Scattered Siberian elm are present in the draws.

The sloped portion levels off to a relatively flat river terrace characterized by western wheatgrass and smooth brome. The margins of the Big Thompson River are dominated by large, mature cottonwoods, Russian olives, and coyote willow.

A large herbaceous-dominated wetland is located within lot 4. This wetland has a 50 ft buffer around it. This wetland and shall remain protected and unaltered.

It is the intent of the Thompson Ridge Estates for the site to remain in a native condition outside of the area directly adjacent to the homes of each lot. Any new vegetation that is planted shall be required to be native to the area and drought tolerant. No permanent irrigation shall be permitted outside of the defined areas adjacent to the homes.



Existing natural landscape



MAINTENANCE

Landscape and Tree Maintenance

All landscapes shall be maintained in a healthy and disease free state. Any dead material shall be removed from the property and replaced if it is a required landscape quantity element.

VEGETATION AND MATERIALS

Irrigation

All residential lots shall provide automatic irrigation systems with rain sensors. Irrigation shall limit overspray. Drip irrigation is required for landscape beds. Refer to the Overall Landscape Minimums and Maximums section for maximum allowed square footage of irrigated areas by water use. It is required that an irrigation engineer design a complete irrigation system.

Wildlife Considerations

Many different species of wildlife call the area within and around Thompson Ridge Estates home including great-horned owls, deer, rabbits, and many song bird species.

Plant Material

Homeowners shall use medium-low water use plants only in shrub beds. Homeowners shall utilize a lower water use turf for lawn areas, 100% Kentucky Bluegrass is not permitted. Homeowners are encouraged to be aware of wildlife in the area for the species selection. Plant material should be diverse and compliment the style and character of the house.

The City of Fort Collins has developed a comprehensive list of both native plants and recommended plants for use within the region. Links to this list can be found in the appendices section.

The Town of Johnstown prohibits the planting of any boxelder trees (*Acer negundo*), cotton-bearing cottonwood trees (Genus *populus* species), Chinese or Siberian elm trees (*Ulmus pumila*). It is also recommended not to plant Ash (*Fraxinus* species) due to the Emerald Ash Borer.

Planting beds shall provide year round interest through the landscape plan. A combination of deciduous and evergreen trees and shrubs, ornamental grasses and perennials shall be used.

Winter interest can be provided by using plants that have bright berries or distinct bark. Many broad leaf evergreens, evergreen/coniferous trees and ornamental grasses provide excellent texture and color. Ornamental grasses shall not be cut back until spring.



Fall interest can be added to with varying leaf shapes and colors. Plants that produce berries and fruits add to the interest as well.



Spring and summer blooming flowers with varying bloom time add to the color interest of a landscape throughout the growing seasons. Ornamental grasses, flowering shrubs and trees add interest and texture.



Mulch

Mulch shall be utilized within landscape beds in order to unify appearance and prevent weed growth and water loss. Residential lots are encouraged to combine both rock and wood mulch to provide variation within the landscape.

Rock should be used sparingly along edges of landscape beds. Continuous rock areas should not be greater than 5 ft in width. Cobble river rock should have a minimum cobble size of 3 in. Larger accent boulders create depth and add interest to the landscape. Rock mulch is best utilized along drainage channels as a dry stream and adjacent to high traffic areas. No lava rock or any color, red/pink/white rock is allowed.

All wood mulch areas shall have a minimum depth of 3" in order to prevent weed growth and water loss. Weed barrier is not needed when 3-4" depth of wood mulch is maintained. No artificially colored mulches are allowed. Wood chip mulch is not allowed. Gorilla hair or shredded cedar mulch is derived from the bark of the redwood and red cedar trees that is finely shredded. Once the bark is transformed into mulch, it will then become stringy which will resemble the hair of that of a gorilla. These stringy pieces knit the mulch together and prevent mulch loss in high winds.



Cobble river rock



Gorilla hair or shredded cedar mulch



Combining wood and rock for a dry stream

Edging

Appropriate edging includes rolled top steel, natural/concrete stone and poured in place concrete. Precaution should be taken when using roll top steel (perforated preferred) edging where pets and/or children are present. No plastic edging, plastic capped steel, or timbers may be used for edging.



Rolled top steel - perforated



Natural/concrete stone



Concrete

LIGHTING

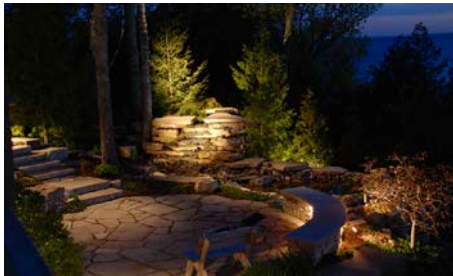
All lighting on residential lots shall be full cut-off and shall only be permitted within the designated building envelope areas of each lot. Maximum bulb temperature is 3,000K. These warmer colors are more sensitive to the wildlife of the area.

Landscape lighting shall be focused on patios, walkways and other high use areas. No tree/large shrub uplighting is permitted.

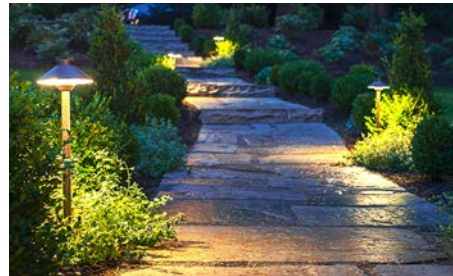
Lighting for homes and detached garages/shops shall be focused on entries and areas of security.



Uplighting trees or large shrubs is not permitted



Landscape lighting shall be focused on the areas of use to create a safe experience with ambiance while be sensitive to the wildlife



Low walkway lighting makes night navigation safer

AMENITIES AND ACCESSORIES

Pergolas and Gazebos

Pergolas and gazebos shall match the architectural style of the home and be of the same materials.

Sheds

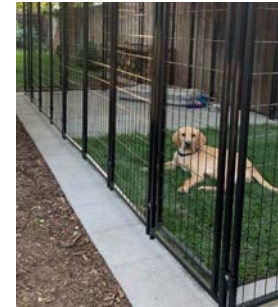
One 12 ft x 14 ft shed is allowed per property in addition to a detached garage/shop. The shed shall be located within the defined building envelope of the lot and must be screened to the maximum extent possible. Shed color and material shall match the residential home. Plan with shed location and elevations with dimensions shall be submitted to the DRC for approval.

Dog Runs

Dog runs shall be attached to the residential 3-rail fence or house and shall be as unobtrusive as possible for adjacent property owners. Runs are limited to a maximum size of 500 square feet. No chain-link fencing shall be allowed. Invisible pet fencing is encouraged. Plans for any dog run shall be submitted to the DRC for approval.



Wood and Grid Wire



Metal Fence

Dog Houses

All dog houses shall compliment the color and material of the residential home and shall be located within the defined building envelope of the lot. The maximum footprint of a dog house may not exceed 16 square feet. The tallest roof point shall not exceed 4 ft.

Chicken Coops

Coops shall be allowed at a maximum size of 20 square feet of run and coop area per chicken (maximum 8 chickens allowed) and shall be located within the defined building envelope of the lot. Coops shall be sturdy permanent structures and shall match the color of the residential home. Coops shall be screened to the maximum extent possible. Plans for all coops shall be submitted to the DRC for approval.

Antennae and Satellite Dishes

All antennae and satellite dishes shall have DRC approval prior to installation excepting those that are exempted from local regulations by the Telecommunications Act of 1996. All DBS and MMDS antennae/dishes shall be 18 inches or less. They shall be installed in the most unobtrusive location as possible and screened to the maximum extent possible.

Outdoor Living Areas

All properties are required to provide a minimum outdoor living area that is greater than or equal to 10% of the total above ground interior living area square footage. Front porches, courtyards, patios and verandas are all acceptable means of providing outdoor living areas. Low walls that are used to define these spaces shall be incorporated into or compliment the architecture of the home. Outdoor living areas shall be located within the defined building envelope of the lot. All plans shall be submitted to the DRC for approval.



Outdoor living areas should reflect and enhance the architectural style of the home

Flagpoles and Laundry Lines

Any display of the American flag shall be in accordance with the Federal Flag Code and size/display of all flags shall comply with all current municipal ordinances. Residents do not need to submit plans for poles extending of the home architecture, provided that there is only one flag being flown at a time. Plans for permanent flagpoles within the site (poles) shall be submitted to the DRC for approval.

Laundry lines shall be located in the rear yard. Rotating laundry lines shall not exceed 7 ft in diameter. Linear lines shall not have more than 3 lines between poles and shall not exceed 15 ft in length.

Fire Pits and Fireplaces

Fire pits and fireplaces shall compliment and enhance the architecture of the home and define the outdoor living space they are in. Using stone that matches the residential home is encouraged. All fire pits and fireplaces shall meet current Town of Johnstown ordinances and shall be located within the defined building envelope of the lot. All permanent fire pits and fireplaces plans shall be submitted to the DRC for approval.



Fire pits and fireplaces should reflect and enhance the architectural style of the home and help to define that patio and courtyard space they are within

Outdoor Cooking and Kitchens

The use of portable grills, cooker and smokers do not require approval. All permanent cooking facility materials shall complement or match the residential home. All permanent facilities shall be located within the defined building envelope of the lot. All permanent cooking facility plans shall be submitted to the DRC for approval.



Outdoor cooking and kitchen facilities shall be incorporated into the design of the outdoor patio or courtyard space and reflect materials that are compatible and complimentary to the architecture of the home

Landscape and Retaining Walls

Retaining walls are anticipated due to the significant slopes found within Thompson Ridge Estates. Wall material selected shall match or compliment the character of the home architecture and landscape hardscape materials. Wall heights shall not exceed 30". If more than one wall is required, there shall be 36" of planted landscape separation between walls. Walls shall be a minimum of 10 ft from property lines. Timbers shall not be used in any instance.



Terraced stone wall with landscape area between walls help to break up visual impact of wall



Retaining walls that extend home masonry or compliment home masonry is encouraged



Play and Sports Equipment

All play and sport equipment shall be located in the rear lot area with the exception of one basketball hoop that may utilize the front driveway. All equipment shall be within the building envelope of each lot. No more than two large pieces of equipment may be located on a single lot. These include, but are not limited to, trampolines, play sets, ropes courses, climbing walls, etc.

Signs

Signs for garage sales, events, etc. may not be posted for more than 72 hours and must be submitted to DRC for approval prior to be posted.

Utility Equipment

All utility equipment shall be located in areas that can be screened from public right-of-way. Locate utility equipment in areas that minimize noise pollution for neighboring lot's outdoor spaces (decks and patios). No window air-conditioner units are allowed. Utility equipment information and plans shall be submitted to the DRC for approval and shall include size, location and screening proposed.

Recreational Vehicles and Boats

All recreational vehicles (campers, RVs, ATVs, etc.) and boats must be garaged.

Wildlife Amenities and Deterrents

Amenities for song birds such as bird feeders, bird baths, bat houses are allowed in rear and side yard areas. Residents shall not set up feeders for any other animals (deer, foxes, raccoons, squirrels etc.).

Protection of plant material from wildlife shall be allowed. Residents are encouraged to use materials that blend in and are as unobtrusive as possible. Avoid bright materials such as PVC that reflect light and draw attention to the fencing. Deer deterrent spray is allowed.

Water Features

Decorative ponds and water features are permitted in Thompson Ridge Estates. Due to water use restrictions, additional water purchase by individual homeowner may be required depending on landscape water usage. Water features may be located in front or rear yards within the defined building envelope of each lot. All plans must be submitted to the DRC for approval.



Pond liner/form shall not be visible



Permanent water basin feature



Pondless water feature

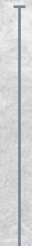
Pools and Hot Tubs

Pool and hot tubs are permitted in Thompson Ridge Estates. Due to water use restrictions, additional water purchase by individual homeowner may be required depending on landscape water usage. Pool and hot tub design shall be harmonious with the home architecture and site layout. All hot tubs and pools shall be located within the defined building envelope of the lot. All pools shall be below grade with the exception of kiddie pools (maximum size of 10 ft diameter) that are portable and shall be stored out of sight when not in use. All pool equipment shall be located to follow guidelines with the Utility Equipment section. All plans shall be submitted to the DRC for approval.

Wind Devices

Wind chimes are allowed without DRC approval provided that the number does not exceed two (2) per lot and noise levels are not audible to adjacent neighbors. All other wind devices require DRC approval.

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Design Review Process

DESIGN REVIEW PROCESS AND REVIEW AUTHORITY

The Design Review Committee (DRC) derives its authority from the Master Declaration for Thompson Ridge Estates. All improvements that are not specifically allowed within The Design Guidelines must have DRC approval prior to construction.

Governing Regulations and Other Conditions

Refer to the Introduction section for details on governing regulations and other conditions.

Fees

The DRC may establish and charge reasonable fees for review of plans submitted. These fees shall be paid prior to review of any plans. Contact DRC for current fee.

Site Considerations

Prior to submitting plans to the DRC homeowners and design professionals should have a thorough understanding of the site. This includes, but is not limited to, the lot being developed, lots directly adjacent to development lot, overall development master plan, surrounding character and topography.

Building Design Professional Selection

Building design professionals shall have an understanding of the Thompson Ridge Estates guidelines and requirements for residential architecture. Visiting the site with the architect prior to design is highly encouraged in order to understand views, topography and overall character of the selected lot. A licensed architect in the state of Colorado is required for all architectural design within Thompson Ridge Estates.

Landscape Design Professional Selection

For an optimally sited home, understanding of view corridors and ecosystems as well as a site and landscape plans that respond to and enhance the home, a professional landscape designer is highly recommended. Landscape designers shall have a complete understanding of all Thompson Ridge Estates guidelines. Homeowners are encouraged to retain the services of a landscape architect licensed in the state of Colorado.

Due to water restrictions and limitations homeowners shall be required to utilize an irrigation engineer for irrigation system design.

Pre-Design Meeting

While not required, it is encouraged for all design professionals and homeowners meet with the DRC prior to submitting a schematic design plan. Concerns and areas of importance can be discussed prior to formal submittal and provide important design direction.

Schematic Plan Submittal

The purpose of the schematic plan is to provide early review feedback for homeowners and design professionals on the design submitted. The overall goal is to identify areas of concern or items that do not meet design guideline requirements prior to construction level documents. This submittal shall include the application and submittal fee. All drawings shall be submitted as a digital PDF file. All sheets shall be combined into one file. All plans are to be drawn to scale and have a north arrow.

New developments submittal shall contain the following:

- Site plan: All proposed building locations, driveway and walkway access, building envelopes, easements, applicable view corridors being maintained, location of existing neighboring lot homes if applicable, existing and proposed grading.
- Architectural Sheets: Four-sided exterior elevations for all proposed buildings that call out materials and colors to be used. Overall main-floor plan for primary residence shall be shown showing front porch/deck areas and any rear lots patios or courtyards that are part of the main home.
- Landscape Plan: Areas of lawn and shrub beds with total square footages of each called out. Existing and proposed grading shall be shown on plans as well as native seed mix on disturbed areas outside of lawn and shrub beds.

Individual Item Improvement submittal shall contain the following:

- Any applicable architecture, site, landscape, irrigation plan sheets. Existing site features and landscaping need to be shown in relation to improvements being requested. Highlights, bubble or otherwise call out improvements being requested.
- Cut sheets of materials, color swatches, etc that will help inform DRC review of requested improvement

Construction Document Submittal

Construction documents shall be submitted to the DRC for final review and approval. This submittal shall include the application and submittal fee. All drawings shall be submitted as a digital PDF file. All sheets shall be combined into one file. All plans are to be drawn to scale and have a north arrow.

New developments submittal shall contain the following:

- Site plan: All proposed building locations, driveway and walkway access, building envelopes, easements, applicable view corridors being maintained, location of existing neighboring lot homes if applicable, existing and proposed grading.
- Architectural Sheets:
 - Exterior Elevations: All four sides shall be shown with proposed grades lines in relation to home, finished floor elevations, top of slab elevations, and overall building and floor heights.
 - Primary Residence Floor Plans: All levels including square footage of each floor (1/4" scale)
 - Primary Residence Roof Plans: Indications for pitches, ridges, valleys and locations for venting, mechanical equipment and plumbing shall be shown. Proposed materials and dimensions shall be shown (1/4" scale)
 - Exterior Details: Including, but not limited to, chimneys, porches, stairs, railings (to scale)
 - Materials/Product Information Boards: Shall call out and show materials and colors to be used as well as their locations.
- Landscape Plan: Detailed landscape plan with proposed plants species and quantities shall be shown that meet all design guideline requirements. Any percentages or other required quantities shall be shown on the plans. Total square footages of irrigated areas shall be called out for high water (lawn) and low water (shrub beds) use shall be called out.
- Irrigation Plan: Detailed irrigation plan with corresponding details. Plan shall call out total water use for high and low water use landscape areas as well as additional information on hot tubs, water features or pool.
- Construction Schedule and hours of construction

Individual Item Improvement submittal shall contain the following:

- Any applicable architecture, site, or landscape plan sheets with above stated requirements. Existing site features and landscaping need to be shown in relation to improvements being requested. Highlights, bubble or otherwise call out improvements being requested.
- Cut sheets of materials, color swatches, etc that will help inform DRC review of requested improvement

REVIEW PROCESS

The DRC will provide written notice of decision within 30 days of submittal. Construction may not begin prior to approval.

Action by Committee

DRC action or decision will not supersede any governmental regulations or laws.

Right to Appeal

DRC decision may be appealed (one time) to the Thompson Ridge Estates Residential association within 30 days of written DRC decision.

Building Permit

Building permits shall be obtained after DRC approval of construction document submittal. All homeowners are advised that local jurisdictions may have additional requirements and restrictions with will need to be met prior to issuance of a building permit.

Changes in Plans

No significant changes in plans or materials may be made without DRC approval.

Project Execution

All architectural work shall be completed within 18 months of DRC approval of plans. All site and landscape work shall be completed within 90 days of certificate of occupancy being issued, unless special approval has been give by the DRC due inopportune seasonal conditions.

On-site Inspections

During construction of the project, the DRC reserves the right to perform on-site inspections. It is the responsibility of the homeowner to ensure that construction conforms to the plans and all applicable building codes.

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Appendices

ABBREVIATIONS

AF - Acre Feet

BMPs - Best Management Practices

DBS - Direct Broadcast Satellite (television)

DRC - Development Review Committee

FAR - Floor Area Ratio

FT - Feet

IN - Inch

LF - Linear Feet

MMDS - Multichannel Multi-point Distribution Service (communications)

R.O.W. - Right-of-way

SF - Square Feet

TRE. - Thompson Ridge Estates

DEFINITIONS

Definitions within Town of Johnstown Land Use Code shall supersede any definitions found within the Design Guidelines. Unless otherwise noted the following words or phrases shall mean the following when used within the Design Guidelines:

Arbor - A framework or lattice used as a shade structure.

Architect - A design professional licensed by the State of Colorado to practice architecture.

Articulation - An architectural design characteristic that distinctly varies an otherwise flat plane of a building. This may include repetitive architectural elements stepping in or out of the building plane, intersections of building elements, or other architectural devices meant to divide a large unbroken building plane.

Balcony - A projecting platform on a building's exterior cantilevered from the building structure or supported by columns.

Balustrade - A handrail or guardrail system along a stair, porch, deck, balcony or terrace that consists of a top-rail, bottom-rail and balusters.

Bracket - A framed corbel projecting outward from a building face supporting an eave, window bay, or other cantilevered architectural elements.

Builder - The professional entity that constructs the improvements on a given lot.

Building Envelope - The portion of a lot which encompasses the area within which building may occur subject to The Guidelines and as delineated on the plat.

CMU - Concrete masonry units.

Clapboard - A traditional type of horizontal siding for stick framed buildings. This may be produced from natural wood, fiber-cement or composition hardboard materials.

Column - A vertical structural member that carries the principal loads of building elements. A column is typically expressed architecturally with a base anchoring it to the ground or foundation, and a capital that transitions the load to a horizontal, overhead framing member.

Construction - Any improvements or actions in Thompson Ridge Estates that require Town of Johnstown or Larimer County permits or approvals.

Contractor - A person or entity contractually engaged by an homeowner for the purpose of constructing any improvements within Thompson Ridge Estates. The Contractor and Homeowner may be the same person or entity, as per applicable City or State code and ordinances.

Custom/Semi Custom Home-sites - Refers to unimproved lots and individual home-sites that will generally require site planning, grading and drainage improvements prior to new home construction.

Deck - Refers to an open, outdoor space without a roof, usually constructed of light framing above grade, and attached to the building.

Design Guidelines - The restrictions, review procedures, and construction regulations adopted and enforced by the Declarant and its appointed Design Review Committee (DRC) as set forth in this document and as amended from time to time by the DRC.

Design Review Committee (DRC) - The Committee appointed by the Declarant. The DRC shall review and either approve, approve with modifications or not approve proposals and/or plans and specifications, construction, exterior additions, landscaping or changes and alterations within Thompson Ridge Estates.

Detail - Refers to individual elements of architectural expression that can be either functional, ornamental or both that enhance the overall character of the improvement.

Dormer - An architectural element projecting from a roof form usually accommodating a window, ventilating louver or other opening in the vertical plane.

EIFS - Exterior Insulating Finish System, commonly referred to as "synthetic stucco" not to be confused with Stucco and is not permitted at TRE.

Eave - Refers to the overhanging lower edge of a roof.

Excavation - Any disturbance of the land (except to the extent reasonably necessary for planting of approved vegetation), including any trenching which results in the removal of earth, rock, or other substance from a depth of more than 12 inches below the natural surface of the land or any grading of the surface.

Facade - The front elevation of a building or any of its sides facing a public way or space, usually distinguished by its architectural treatments.

Fascia - Refers to any broad, flat horizontal surface at the outer edge of a cornice or roof.

Fill - Any addition of earth, rock, or other materials to the surface of the land, which increases the natural elevation of such surface.

Homeowner - The term Homeowner shall mean the record owner of any home-site or home-sites as shown on the official records of the Town of Johnstown or Larimer County, Colorado Recorder. The homeowner may act through an agent provided that such agent is authorized in writing to act in such capacity.

Improvement - Every structure or improvement of any kind, including, without limitation, buildings, fences, walls, trees, hedges, plantings, poles, driveway, parking areas, signs, changes in any exterior color or shape, and site work (such as, without limitation, excavation, grading, road construction utility improvements, and removal of trees or plantings). Improvement does not include turf, shrub, or tree maintenance or replacement. Improvement does include both new construction and any subsequent exterior improvements.

Irrigation Engineer - A design professional licensed by the State of Colorado to design irrigation systems and determine water use.

Landscape Architect - A design professional licensed by the State of Colorado to practice landscape architecture.

Loggia - A colonnaded or arcaded space, on or in a building, that is open to the air on one or more sides.

Lot - Refers to land platted for a future home-site that is held in private ownership.

Masonry - Stone, brick or other vitreous clay bonded by cementitious mortar for use in the construction of site and building elements.

Masonry Pier - A post composed of masonry typically supporting a porch.

Massing - An architectural design characteristic that refers to the overall three dimensional form of a building on its site. Massing encompasses the length, width, height, volume and overall shape of a building.

Member - The term Member shall mean and refer to every person or entity that is an homeowner, as defined below. Membership shall be appurtenant to any, and may not be separated from, ownership of any home-site.

Mullion - Refers to the dominant vertical or horizontal framing member that is between the sashes or lights of a window unit.

Muntin - A fine vertical or horizontal glazing member for holding the edges of windowpanes within a sash.

Natural Area - That portion of a custom/semi-custom home-site which lies outside of the building envelope.

Open Space - All real and personal property including easements, belonging to and maintained by the Association or the Town of Johnstown for the common use of the residents of Thompson Ridge Estates.

Outbuilding- a building, such as a shed or garage on the same property but separate from the primary residence.

Parcel - An area of land that may be further sub-divided into lots.

Patio - An outdoor semi-private space often paved, which is immediately adjacent to a home. A low privacy wall may further define it.

Pergola - A colonnaded structure supporting an open roof that may be used to connect 2 or more building volumes.

Pitch - Refers to the degree of slope of a roof. Defined as a ratio of the vertical (rise) in inches of the slope to the horizontal (run) of one foot; e.g.: 12:12 pitch equals 45 degrees.

Plate - Refers to a double horizontal member in light frame construction that connects and terminates studs, columns or wall planes.

Porch (or portico) - Refers to an architectural element attached to the exterior of a building that provides various degrees of shelter and enclosure as well as providing semi-public space at the building entry.

Rake - Refers to the inclined, roof overhang on a pitched roof.

Recreational Vehicle - Recreational vehicles include, but are not limited to motor homes, pick-up trucks with camper shells, trailers, motorcycles, motorbikes, snowmobiles, jet skis, all-terrain vehicles, and other apparatus intended for use on land, water, or the air, and the trailers used for their transportation. Final determination of a vehicle's status as a recreational vehicle will be determined on a case-by-case basis by the DRC.

Residence - The building or buildings, including any garage, or other accessory building, used for residential purposes constructed on a lot, and any improvements constructed in connection therewith.

Shed - a simple roofed structure, typically made of wood or metal, used as a storage space or a workshop.

Stucco - Refers to a traditional exterior building material, which consists of a layered cementitious veneer plaster. Stucco should not be confused with E.I.F.S.

Terrace - A raised outdoor space or earthen platform adjacent to a building used to transition between areas of steep grade.

Trellis - An open framework or lattice on which plants will grow.

Xeriscape - A method of landscaping, specifically utilizing native, drought-tolerant, low maintenance plants and shrubs that once established, will thrive with local rainfall amounts.

3-rail Fence - A fence bordering the back and/or side yard of an individual home.

ADDITIONAL RESOURCES

Native Plants

This document prepared by the City of Fort Collins Natural Areas Department outlines many species of plants that are local to our area and region.

<https://www.fcgov.com/naturalareas/pdf/nativeplants2013.pdf?1362179305>

This document published by Colorado Native Plant Society lists many species that utilize less water and are native or adapted to the Front Range region.

<https://extension.colostate.edu/docs/pubs/native/FrontRange.pdf>

This document lists many plants that do well in our climate and region. These plants are not required for residential development, but provide a nice framework for building a plant palette that will thrive in this area.

https://www.fcgov.com/forestry/plant_list.pdf

Thompson Ridge Estates  Submittal Application

Refer to "Design Review Process" section for design review process and submittal requirements. Please submit along with application fee for all improvements over \$5,000 in construction costs. Payable to: Thompson Ridge Estates Owners Association.

Name: _____

Lot Number or Address: _____

Phone: _____ Email: _____

Description of Work (include a second page if necessary to fully describe proposed improvements): _____

_____ Planned Completion Date: _____

I understand that I must receive DRC approval in order to proceed with any construction. I understand that DRC approval does not constitute approval of any local building department requirements and that I may be required to obtain a building permit. I agree to complete the improvements as described promptly after receiving approval from the DRC.

Date: _____ Homeowner's Signature(s): _____

DRC Action

Approved as submitted

Approved subject to the following modifications*: _____

Not Approved for the following reasons*: _____

* Additional comments may be noted on *submitted drawings*

Completion required by: _____

Approved by DRC Member: _____

Submit to:
DRC
MDCampana@gmail.com

| |
|---|
| <p>DRC Use Only: Date Received: _____ Date Returned: _____</p> |
|---|

Prepared by:

**russe||+
mills**